
MUNICIPALITY OF PENN HILLS, PA

Penn Hills Municipal Building, 102 Duff Road, Penn Hills, PA

FY 2021 ANNUAL ACTION PLAN

DRAFT

For Submission to the U.S. Department of Housing and
Urban Development (HUD) for the Community
Development Block Grant (CDBG) Program





Table of Contents

AP-05 Executive Summary - 91.200(c), 91.220(b) 2

PR-05 Lead & Responsible Agencies - 91.200(b) 19

AP-10 Consultation - 91.100, 91.200(b), 91.215(l) 20

AP-12 Citizen Participation - 91.401, 91.105, 91.200(c) 33

AP-15 Expected Resources - 91.420(b), 91.220(c)(1,2) 35

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e) 38

AP-35 Projects - 91.420, 91.220(d) 42

AP-38 Project Summary 44

AP-50 Geographic Distribution - 91.420, 91.220(f) 57

AP-85 Other Actions - 91.420, 91.220(k) 61

AP-90 Program Specific Requirements - 91.420, 91.220(l)(1,2,4) 69

DRAFT



AP-05 Executive Summary - 91.200(c), 91.220(b)

1. Introduction

The Municipality of Penn Hills is an entitlement community under the U.S. Department of Housing and Urban Development's (HUD) Community Development Block Grant (CDBG) Program. The Community Development Block Grant (CDBG) Entitlement Program provides annual grants on a formula basis to entitled cities and counties to develop viable urban communities by providing decent housing and a suitable living environment, and by expanding economic opportunities, principally for low- and moderate-income persons. The program is authorized under Title 1 of the Housing and Community Development Act of 1974, Public Law 93-383, as amended; 42 U.S.C.-530.1 et seq. (Source: www.hudexchange.info/programs/cdbg-entitlement)

The Municipality also receives entitlement funds under the HOME Investment Partnerships (HOME) Program through the Allegheny County HOME Consortium. The HOME Investment Partnerships Program (HOME) provides formula grants to states and localities that communities use - often in partnership with local nonprofit groups - to fund a wide range of activities including building, buying, and/or rehabilitating affordable housing for rent or homeownership or providing direct rental assistance to low-income people. It is the largest Federal block grant to state and local governments designed exclusively to create affordable housing for low-income households. (Source: www.hudexchange.info/programs/home)

In compliance with HUD regulations, the Municipality must prepare an Annual Action Plan every year for its CDBG allocation which presents what specific projects the Municipality will accomplish with CDBG, HOME, and other funding sources to address the priority needs identified in the FY 2020-2024 Five Year Consolidated Plan. The FY 2021 Program year starts on July 1, 2021 and ends on June 30, 2022. To complete the CDBG program year, the Municipality reports annually at the end of the program year on the progress it has made toward its Consolidated Plan goals in the Consolidated Annual Performance and Evaluation Report (CAPER).

The Annual Action Plan is a collaborative effort between the Municipality of Penn Hills, the community at large, social service agencies, municipal staff, housing providers, community development agencies, and economic development groups. The planning process was accomplished through a series of public meetings, stakeholder consultations, statistical data, and review of previous community development projects.

The Municipality of Penn Hills' Department of Planning and Economic Development is the lead entity and administrator for the CDBG funds. The Municipality of Penn Hills receives HOME funds



as a member of the Allegheny County HOME Consortium. Allegheny County is the administering PJ of the HOME funds.

Available Funds:

The following financial resources are included in the FY 2021 Annual Action Plan which anticipates funding to be received to address the priority needs and specific objectives identified in the Municipality of Penn Hills' FY 2020-2024 Consolidated Plan and Strategy. The Municipality of Penn Hills will receive the following federal funds during the FY 2021 program year:

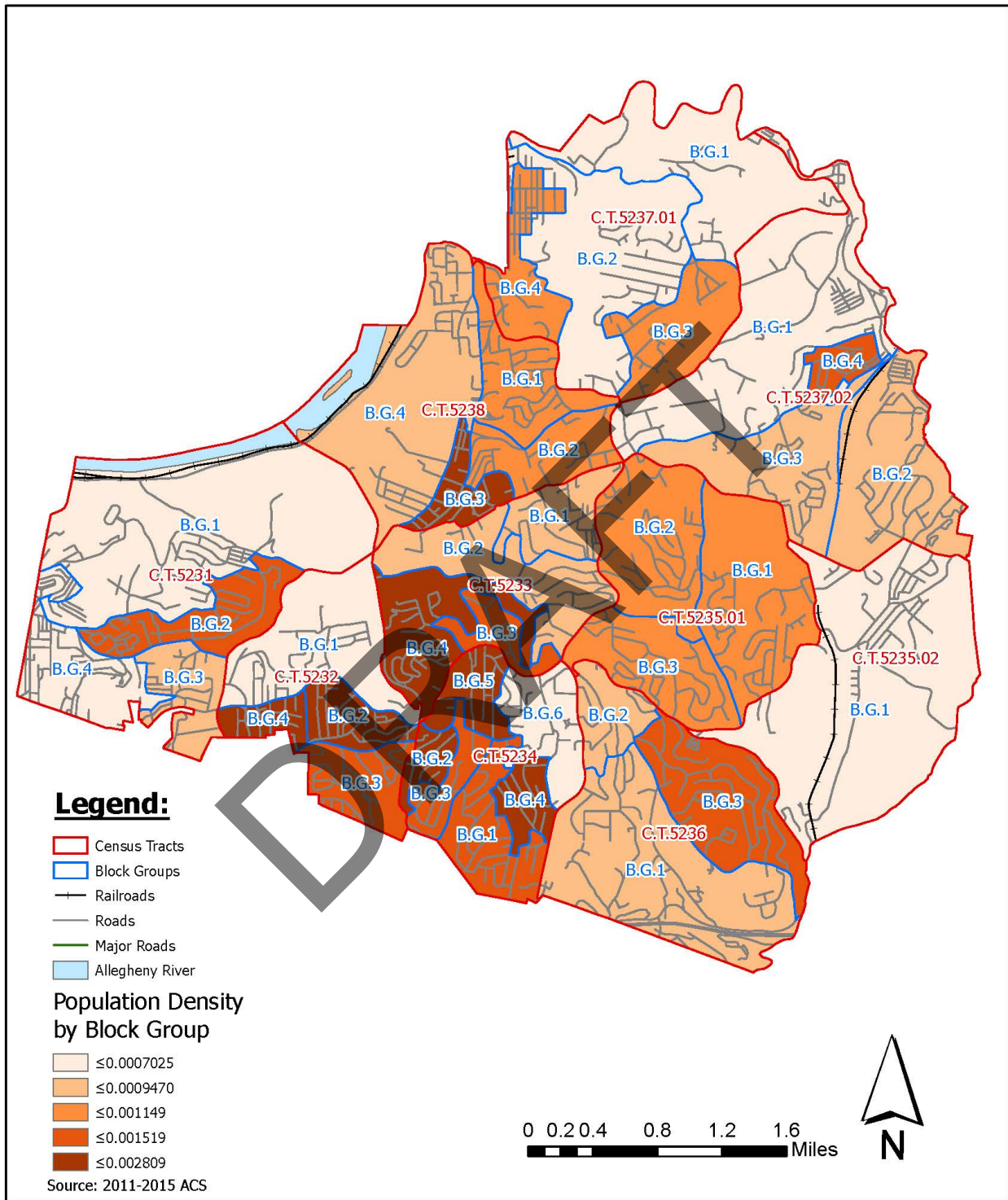
CDBG Funds	\$ 709,540
CDBG Program Income	\$ 35,000
HOME Funds	\$ 119,192
Totals	\$ 863,732

Table 1 - Entitlement Funds

Maps:

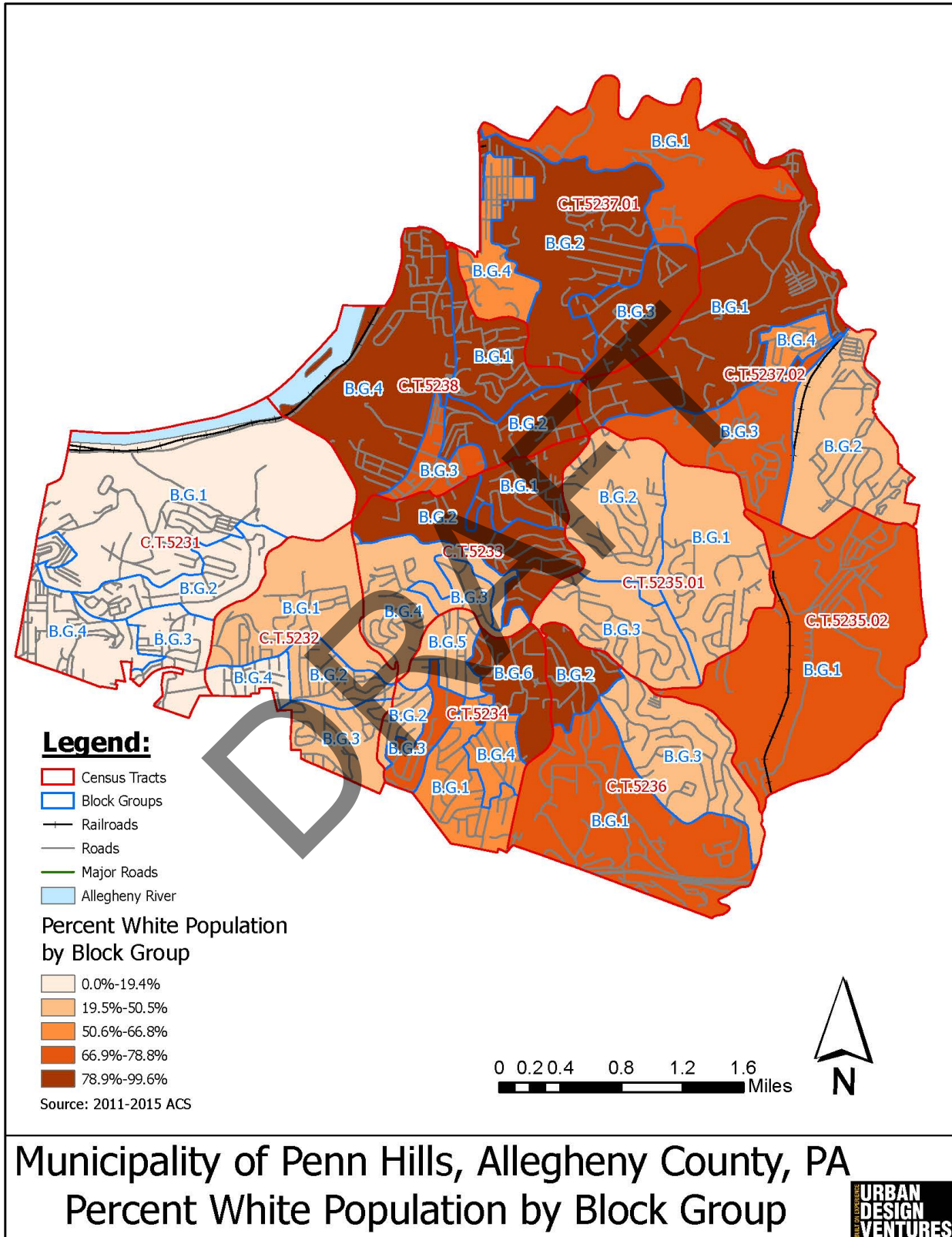
Below are the following maps which illustrate the demographic characteristics of the Municipality of Penn Hills:

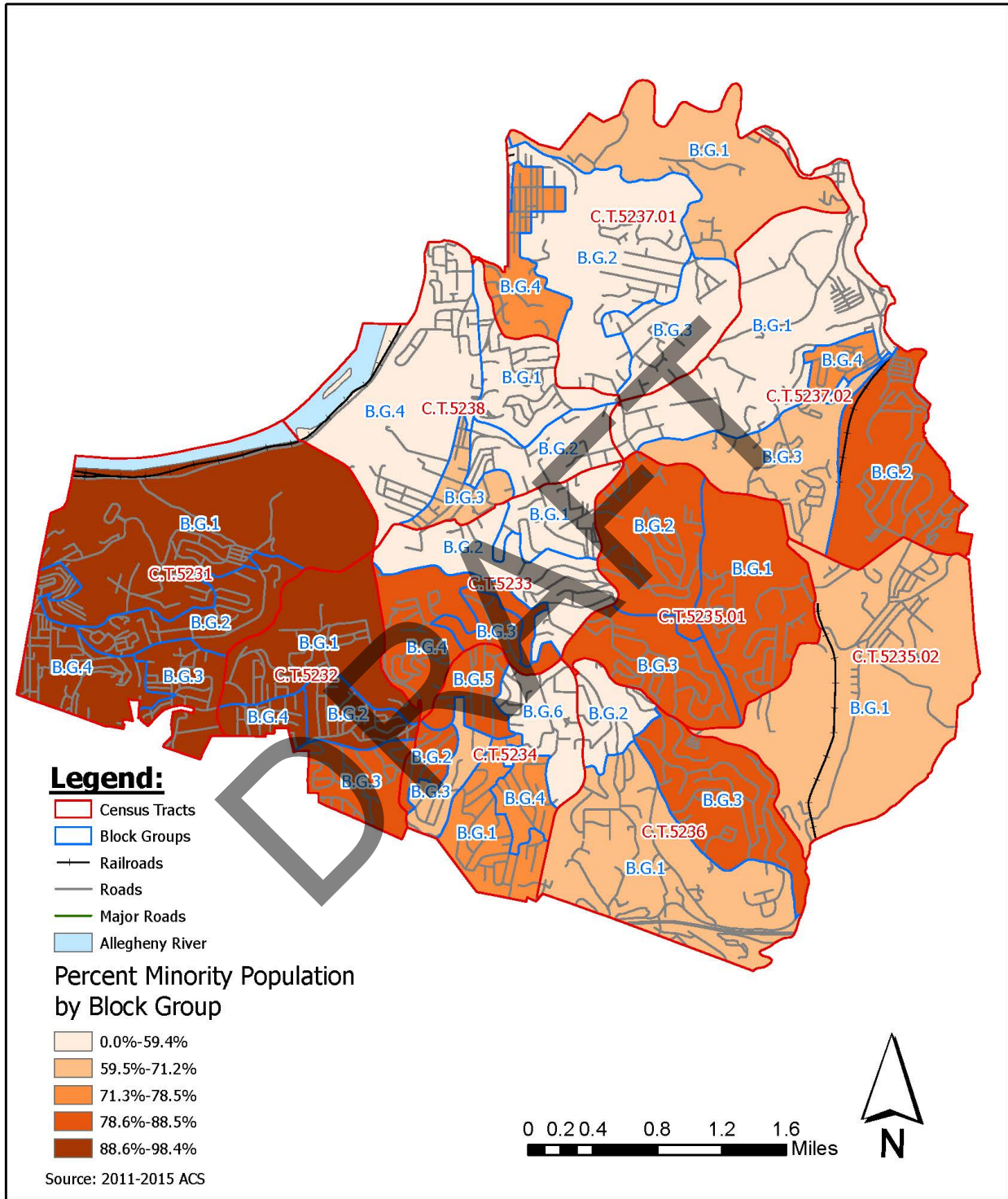
- Population Density by Block Group
- Percent White Population by Block Group
- Percent Minority Population by Block Group
- Percent Population Age 65+ by Block Group
- Total Housing Units by Block Group
- Percent Owner-Occupied Housing Units by Block Group
- Percent Renter-Occupied Housing Units by Block Group
- Percent Vacant Housing Units by Block Group
- Low/Moderate Income Percentage by Block Group
- Low/Moderate Income with Minority Percentage by Block Group



Municipality of Penn Hills, Allegheny County, PA Population Density by Block Group

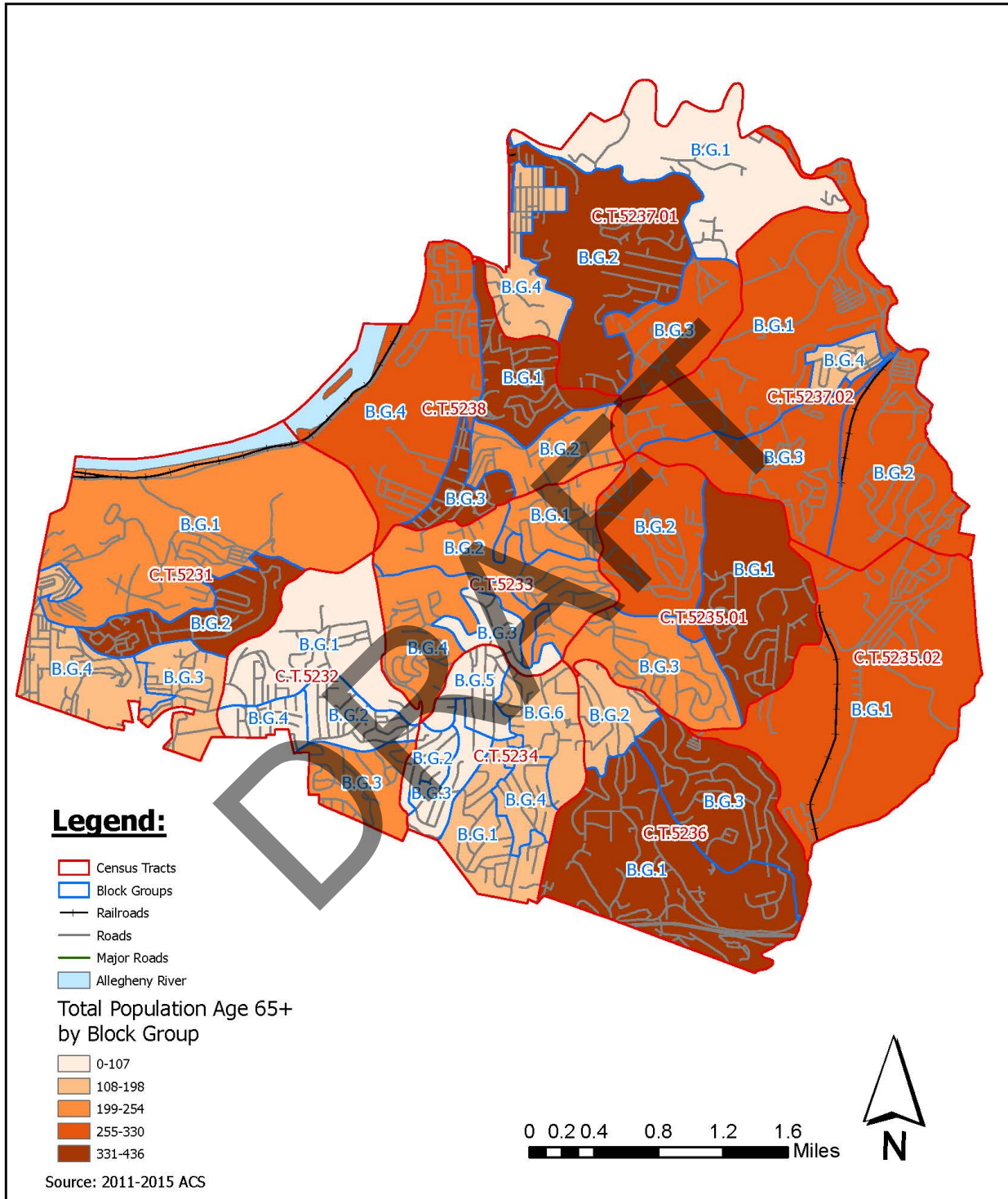






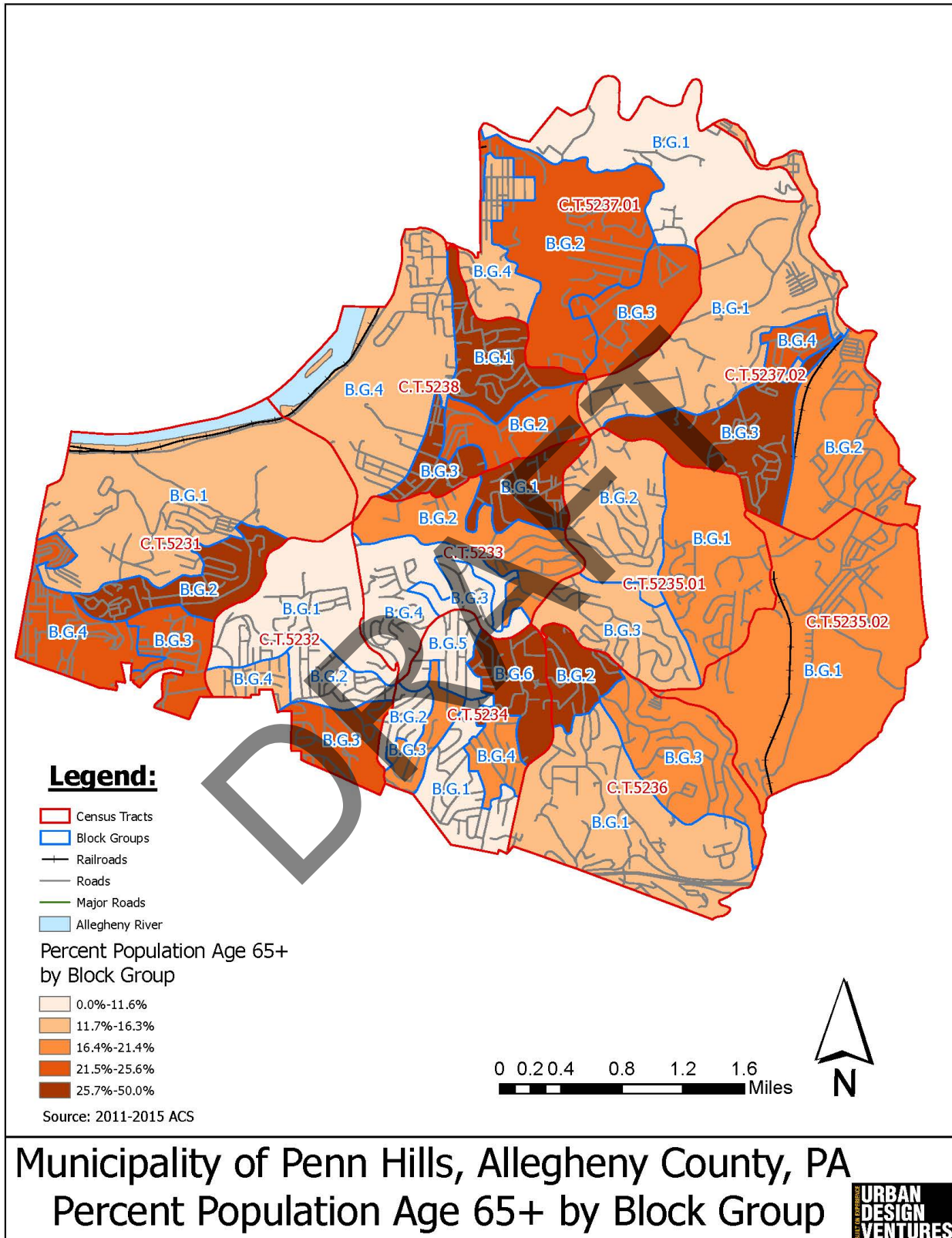
Municipality of Penn Hills, Allegheny County, PA
 Percent Minority Population by Block Group

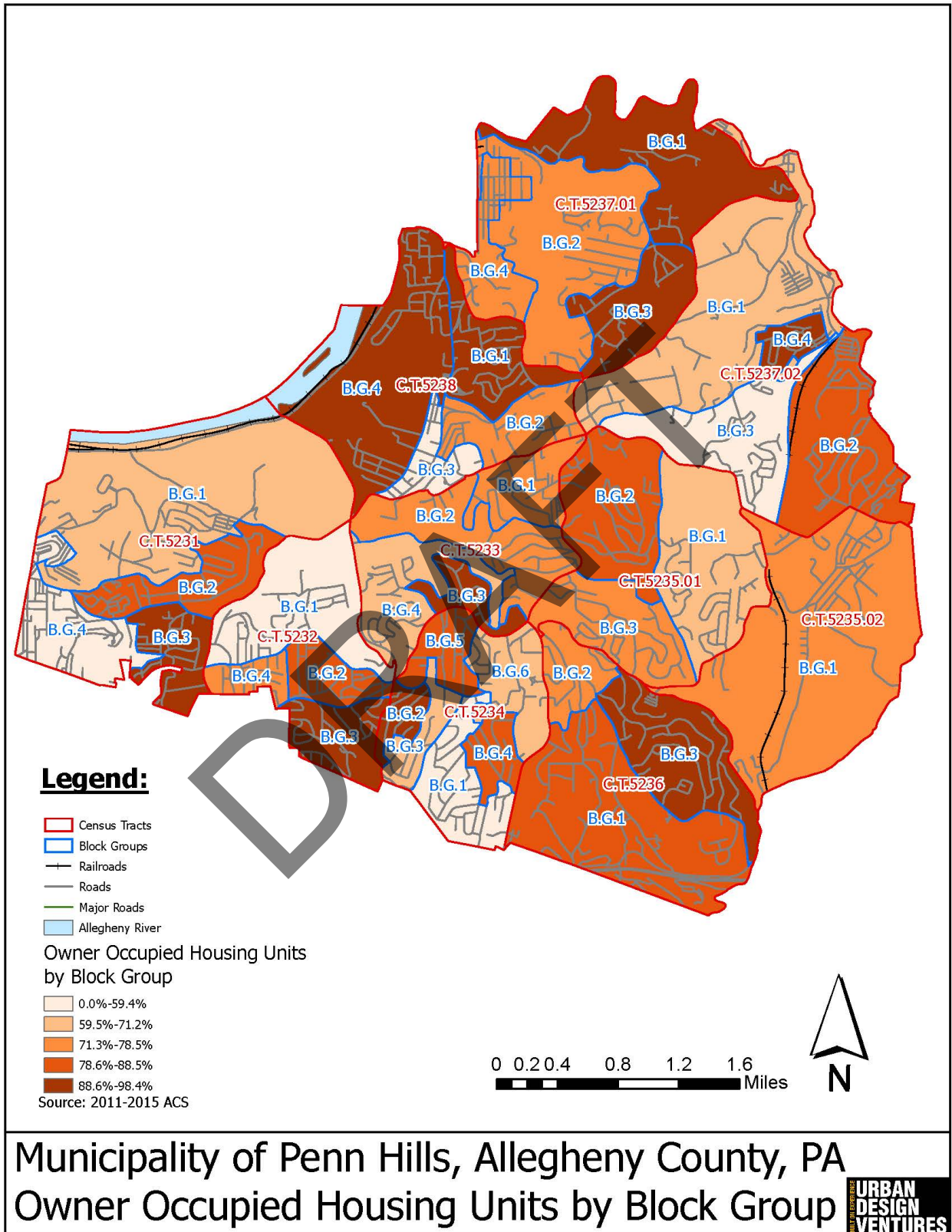


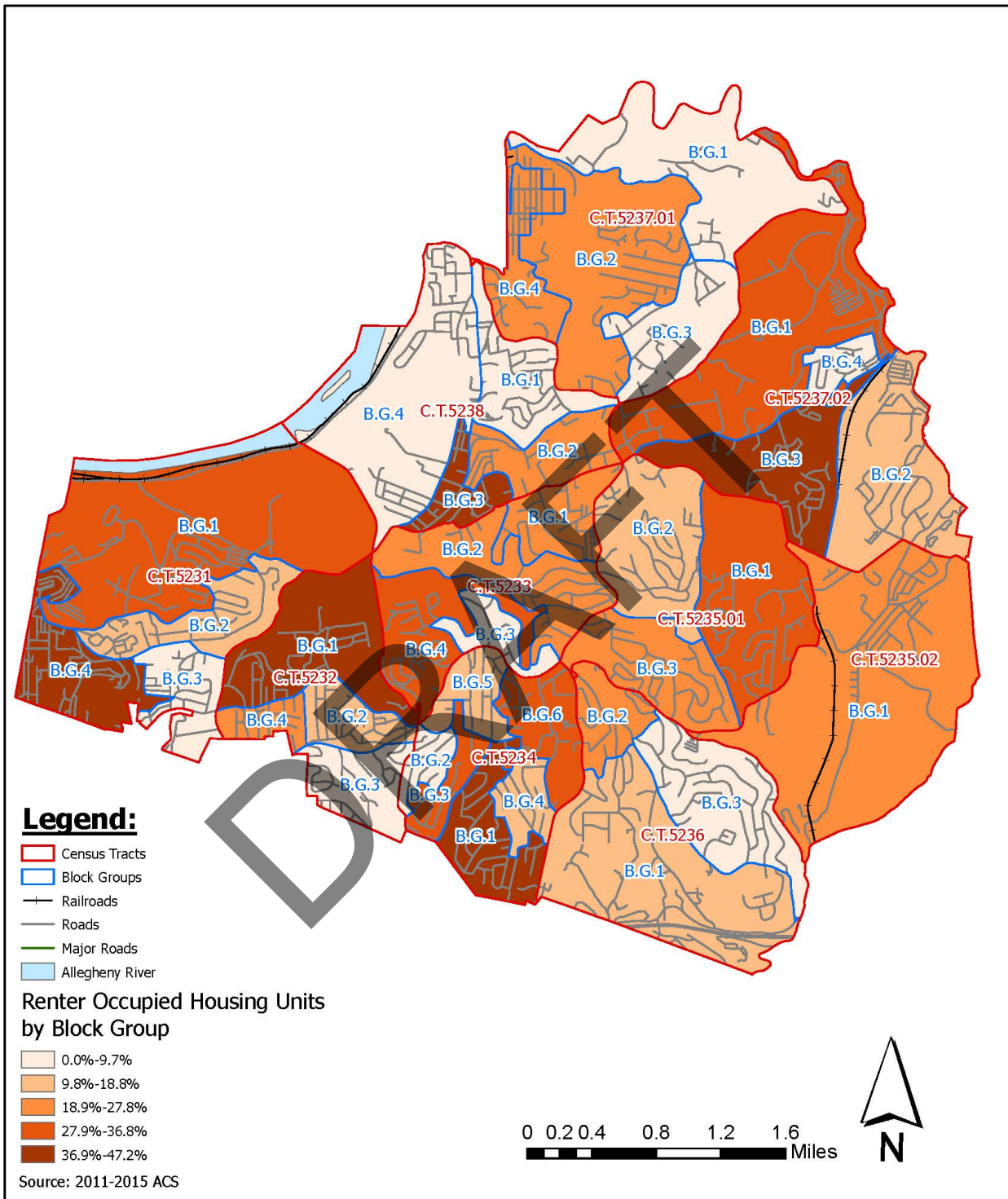


Municipality of Penn Hills, Allegheny County, PA Total Population Age 65+ by Block Group





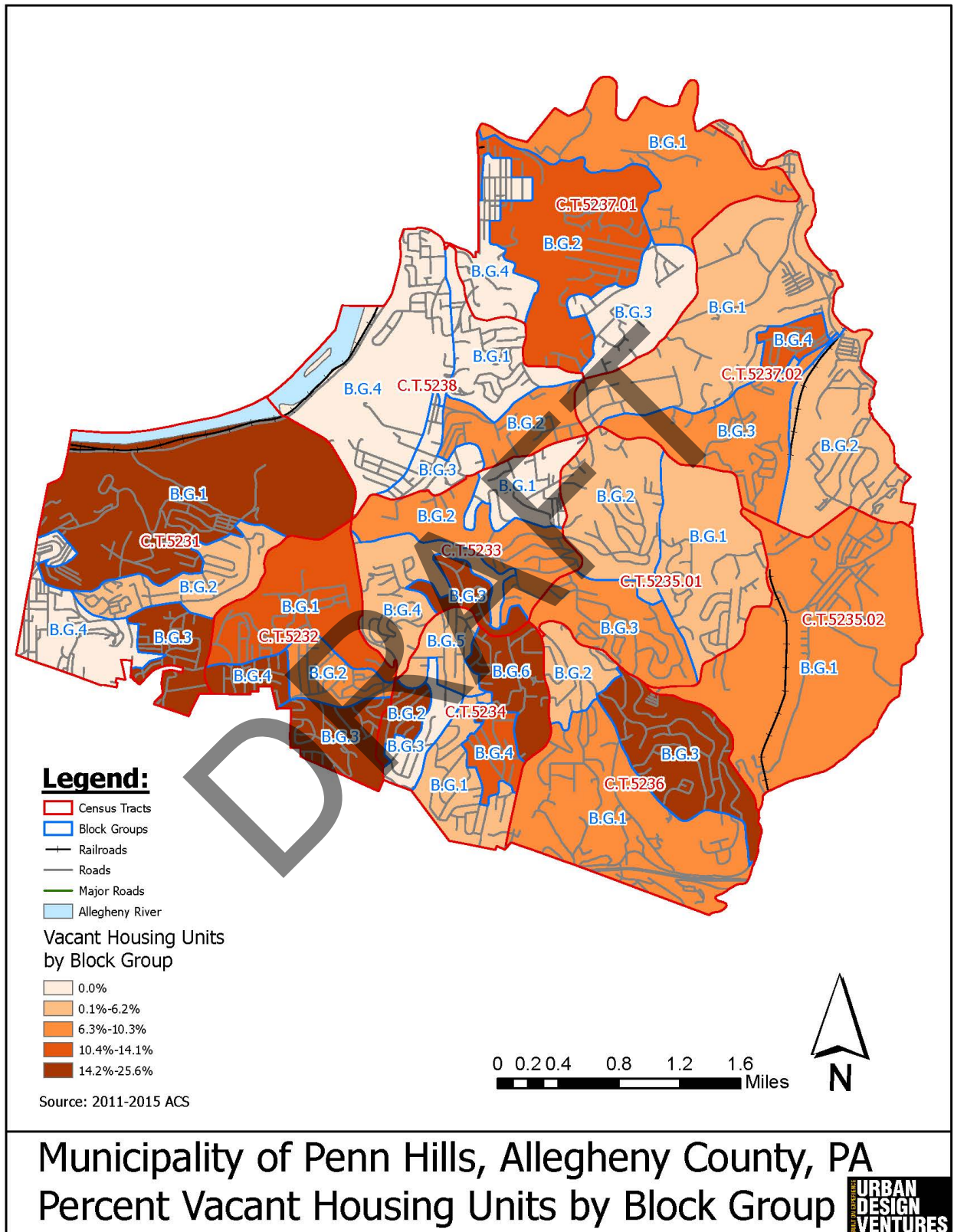


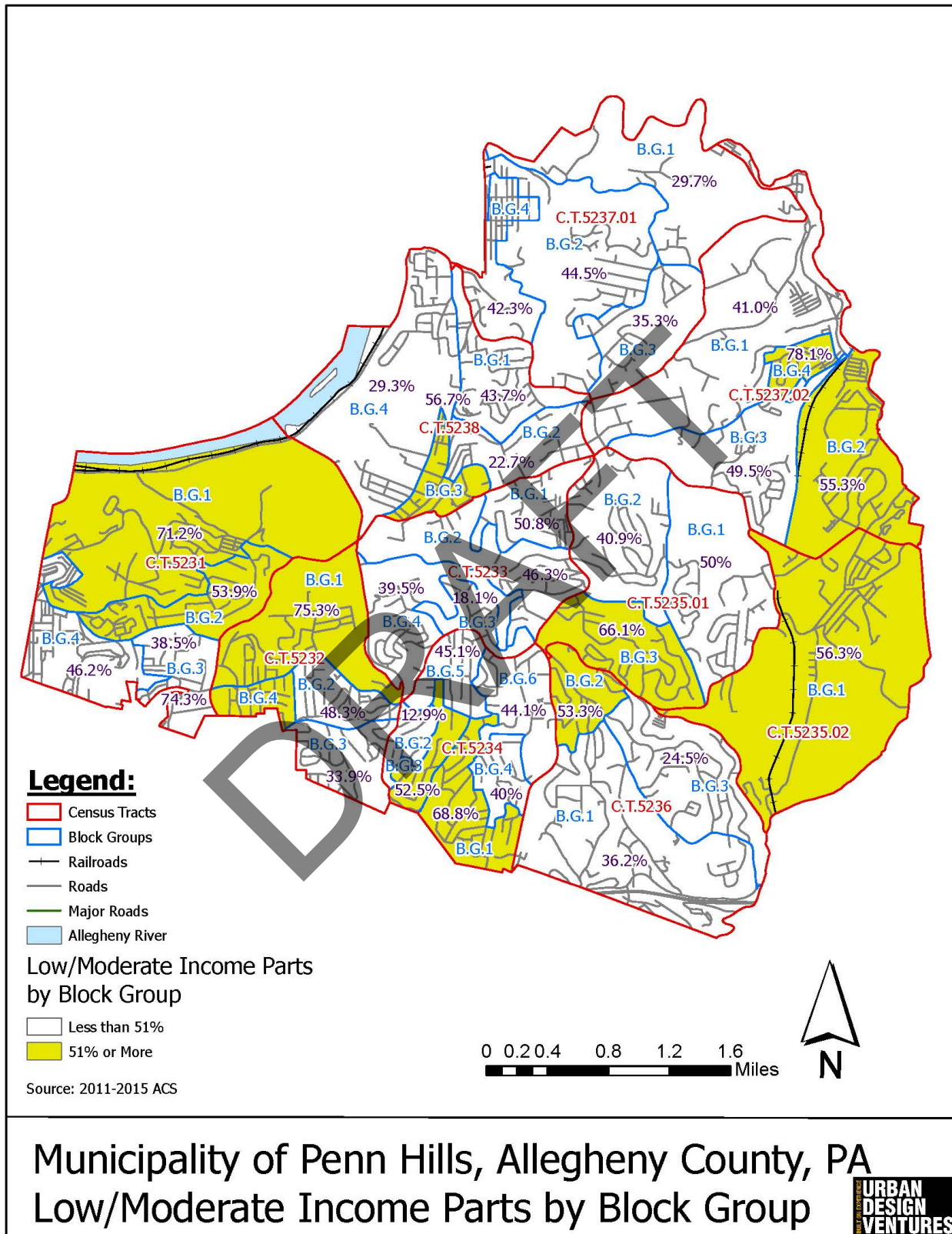


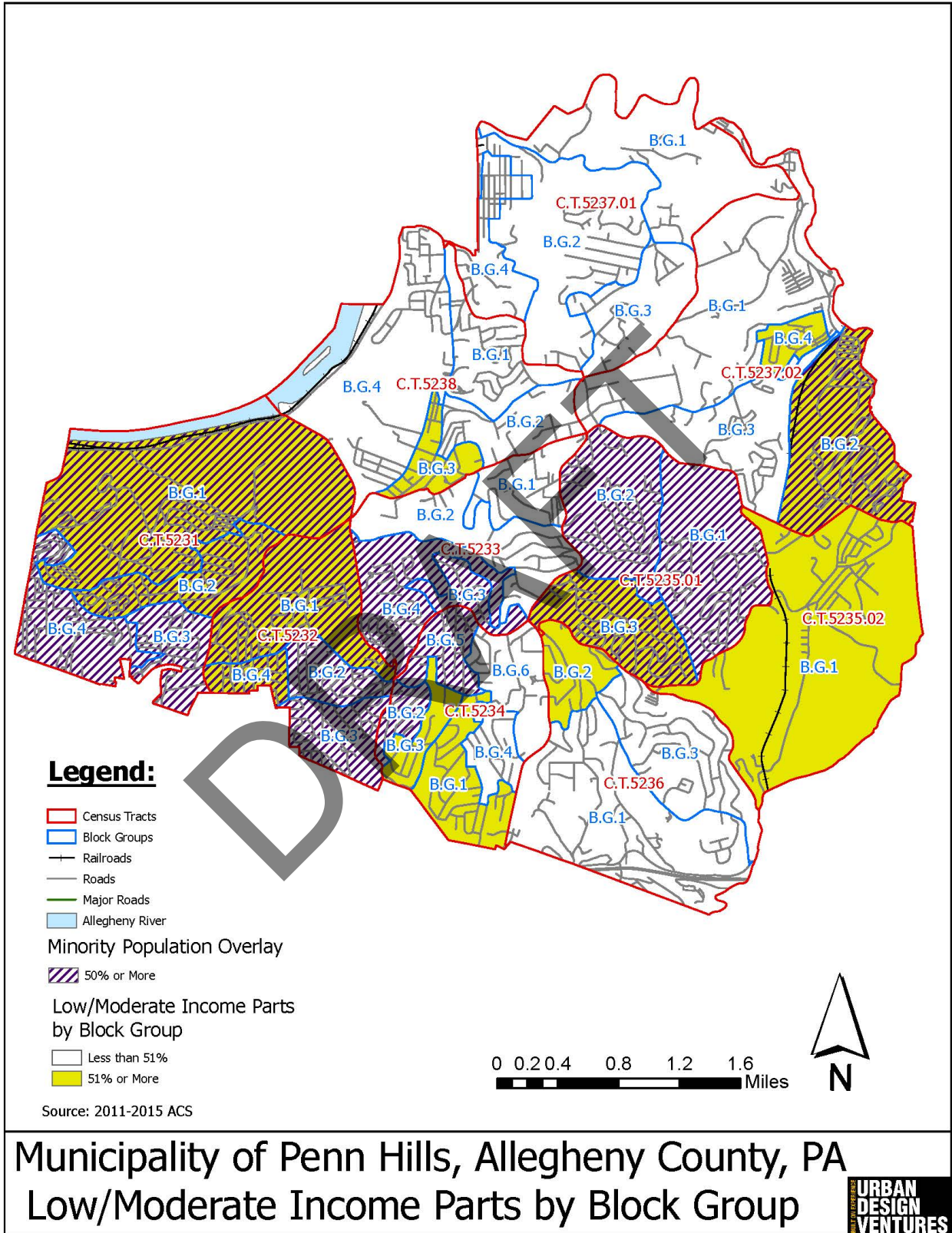
Municipality of Penn Hills, Allegheny County, PA

Renter Occupied Housing Units by Block Group











2. Summary of the objectives and outcomes identified in the Plan

The following six (6) priorities and subsequent goals/strategies have been identified for the Municipality of Penn Hills for the period of FY 2020 through FY 2024 for the Community Development Block Grant (CDBG) Program and HOME Investment Partnerships (HOME) Consortium Program:

HOUSING PRIORITY – (High Priority)

There is a need for decent, safe and sanitary housing that is affordable and accessible to homebuyers, homeowners and renters

Goals:

- **HS-1 Housing Support** – Assist low- and moderate-income households to access decent, safe and sanitary housing that is affordable and accessible for rent or for sale through housing counseling and down payment/closing cost assistance.
- **HS-2 Housing Construction** – Encourage the construction of new affordable renter- and owner-occupied housing units.
- **HS-3 Housing Rehabilitation** – Conserve and rehabilitate existing affordable housing units occupied by owners and renters by addressing code violations, emergency repairs and handicap accessibility.

HOMELESS PRIORITY – (Low Priority)

There is a need for housing, services, and facilities for homeless persons and persons at-risk of becoming homeless

Goals/Strategies:

- **HO-1 Housing** – Support the Continuum of Care's efforts to provide emergency shelter transitional housing, rapid rehousing, utility support, permanent supportive housing, and other permanent housing opportunities.
- **HO-2 Operation/Support** – Support social service programs and facilities for the homeless and persons at-risk of becoming homeless.

OTHER SPECIAL NEEDS PRIORITY – (High Priority)

There is a need for housing, services, and facilities for persons with special needs.



Goals/Strategies:

- **SN-1 Housing** – Support an increase in the supply of decent, safe and sanitary housing that is affordable and accessible for the elderly, persons with disabilities, persons with HIV/AIDS, victims of domestic violence, persons with alcohol/drug dependency, and persons with other special needs, through rehabilitation and new construction of housing units.
- **SN-2 Social Services** – Support social service programs and facilities for the elderly, persons with disabilities, persons with HIV/AIDS, victims of domestic violence, persons with alcohol/drug dependency, and persons with other special needs.

COMMUNITY DEVELOPMENT PRIORITY - (High Priority)

There is a need to improve the community facilities, infrastructure, public services, and quality of life in Penn Hills

Goals/Strategies:

- **CD-1 Community Facilities and Infrastructure** – Improve the municipality’s public facilities and infrastructure through rehabilitation, reconstruction, and new construction.
- **CD-2 Public Services** – Improve and enhance the public and community development services in the municipality.
- **CD-3 Public Safety** – Support the municipality’s public safety organizations.
- **CD-4 Accessibility** – Improve public and common use areas to be readily accessible and usable by persons with disabilities.
- **CD-5 Clearance/Demolition** – Remove and eliminate slum and blighting conditions in the municipality.
- **CD-6 Code Enforcement** – Enforce the local building code and zoning ordinance to ensure structures and properties are compliant.

ECONOMIC DEVELOPMENT PRIORITY - (Low Priority)

There is a need to promote skills training, employment development, connectivity, and economic opportunities in the municipality

Goals/Strategies:

- **ED-1 Employment** – Support and promote job creation, retention, and skills training programs.



- **ED-2 Redevelopment** – Plan and promote the development, redevelopment, and revitalization of vacant commercial and industrial areas.
- **ED-3 Financial Assistance** – Promote new economic development through local, state, and federal tax incentives and programs.
- **ED-4 Access to Transportation** – Support the expansion of multimodal transportation services to assist the transportation needs of the municipality.

ADMINISTRATION, PLANNING, AND MANAGEMENT PRIORITY - (High Priority)

There is a need for planning, administration, management, and oversight of federal, state, and local funded programs.

Goal/Strategy:

- **AM-1 Overall Coordination** - Provide program management and oversight for the successful administration of federal, state, and local funded programs, including planning services for special studies, environmental clearance, fair housing activities, and compliance with all federal, state, and local laws and regulations.

3. Evaluation of past performance

The Municipality of Penn Hills has a good performance record with HUD. The Municipality regularly meets the performance standards established by HUD. Each year the Municipality prepares its Consolidated Annual Performance Evaluation Report (CAPER). This report is submitted within ninety (90) days after the start of the new program year. Copies of the CAPER are available for review at the Department of Planning and Economic Development, 102 Duff Road, Penn Hills, PA 15235.

The FY 2019 CAPER, which was the fifth and final CAPER for the FY 2015-2019 Five Year Consolidated Plan. In the FY 2019 CAPER, the Municipality of Penn Hills expended 83.13% of its CDBG funds to benefit low- and moderate-income persons. The Municipality expended 10.77% of its funds during the FY 2018 CAPER period on public service, which is below the statutory maximum of 15%. The Municipality expended 16.12% of its funds during this CAPER period on Planning and Administration, which is below the statutory maximum of 20%. The Municipality had a drawdown ratio of 0.64, which is in compliance with the required 1.5 maximum drawdown ratio.

The Municipality amended its FY 2019 Annual Action Plan during the FY 2020 Program Year to include CDBG-CV funding from the CARES Act.



4. Summary of citizen participation process and consultation process

The Municipality of Penn Hills followed its Citizen Participation Plan in the planning and preparation of the FY 2021 Annual Action Plan. The Municipality held its first public hearing to solicit the needs of the community and its residents on Thursday, March 25, 2021 at 7 PM as a virtual Zoom meeting. This meeting provided residents and stakeholders the opportunity to discuss the Municipality's CDBG and HOME Programs, as well an opportunity to provide input on the housing and community development needs in the area. The Municipality held its second public hearing to review the draft FY 2021 Annual Action Plan on Wednesday, May 12, 2021 at 10 AM as a virtual Zoom meeting. This provided the residents and stakeholders the opportunity to discuss the Plan's needs, priorities, goals, and proposed projects funded with CDBG funds.

The Municipality's Department of Planning and Economic Development maintains a mailing list for its CDBG Program and sends out copies of its public hearing notices and meetings concerning the CDBG Program. Notices are sent to all agencies and individuals who have participated in previous programs and activities.

A copy of the "Draft FY 2021 Annual Action Plan" was placed on public display for review by the general public agencies and organizations in the community for a period of 30 days starting on Friday, April 16, 2021 and ending on Monday, May 17, 2021. A newspaper notice announcing that these documents were placed on public display was published on Thursday, April 16, 2021, in "The Post-Gazette Xtra", the newspaper of general circulation in the area. The "Draft FY 2021 Annual Action Plan" was on public display at the following locations:

- Penn Hills Municipal Building, Department of Planning and Economic Development, 102 Duff Road, Penn Hills, PA 15325.
- Penn Hills Library, 1037 Stolter Road, Penn Hill, PA 15235
- Penn Hills satellite Library at the Lincoln Park Community Center, 7300. Ridgeview Avenue, Penn Hills, PA 15235
- <https://pennhills.org>

A more detailed analysis and description of the citizen participation process is contained in section PR-15, "Citizen Participation."

5. Summary of public comments



The Municipality of Penn Hills held its First Public Hearing on Thursday, March 25, 2021 at 7 PM as a virtual Zoom meeting. Comments received at that public hearing are included in the Appendix at the end of the Plan. The Municipality of Penn Hills held its Second Public Hearing on Wednesday, May 12, 2021 at 10:00 AM. Comments received at that public hearing are included in the Appendix at the end of the Plan. The FY 2021 Annual Action Plan were placed on public display from April 16, 2021 to May 17, 2021. Comments received during the draft display period are included in the Appendix at the end of the Plan.

The following needs were the most common comments received:

- Need for affordable housing
- Need for employment opportunities that pay a living wage employment
- Need for neighborhood revitalization
- Need for demolition of housing that is not code compliant
- Need for community facilities to provide activities for residents, especially seniors and youth

6. Summary of comments or views not accepted and the reasons for not accepting them

All comments and suggestions that were received, have been accepted and incorporated into the planning document.

7. Summary

The main goals of the Five Year Consolidated Plan are to improve the living conditions of all residents in the Municipality of Penn Hills, create a suitable and sustainable living environment, and to address the housing and community development needs of the Municipality's residents.

The FY 2021 Annual Action Plan planning process requires that the Municipality prepare in a single document its strategies and goals to address its housing needs; establish and maintain a suitable living environment; and to encourage economic opportunities for every resident. The Municipality will use the Consolidated Plan's goals to allocate CDBG and HOME funds over the next five (5) years and to provide direction to its strategic partners, participating agencies, and stakeholder organizations to address the housing and community development needs of the low- and moderate-income residents of the Municipality of Penn Hills. HUD will evaluate the Municipality's performance based on the goals established in the Five Year Consolidated Plan.



PR-05 Lead & Responsible Agencies - 91.200(b)

- Describe agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source**

The following are the agencies/entities responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	PENN HILLS	Department of Planning and Economic Development

Table 2– Responsible Agencies

Narrative

The Municipality of Penn Hill’s Department of Planning and Economic Development is the administrating agency for the CDBG and HOME programs. The Department of Planning and Economic Development prepares the Five Year Consolidated Plan, Annual Action Plans, Environmental Review Records (ERR’s), Consolidated Annual Performance Evaluation Reports (CAPER), as well as handles the monitoring, processing of pay requisitions, contracting, and oversight of the programs on a day to day basis. In addition, the Municipality of Penn Hills has a private planning consulting firm available to assist the Municipality on an as needed basis.

Consolidated Plan Public Contact Information

Mr. Christopher Blackwell, Director
 Department of Planning and Economic Development
 Municipality of Penn Hills
 102 Duff Road
 Penn Hills, PA 15325
 Phone: (412) 798-2128
 Fax: (412) 798-2160
 E-mail: cblackwell@pennhills.org
 Website: www.pennhills.org



AP-10 Consultation - 91.100, 91.200(b), 91.215(I)

1. Introduction

While preparing the FY 2020-2024 Five Year Consolidated Plan, the Municipality of Penn Hills consulted with the Allegheny County Housing Authority, Allegheny County Economic Development, social service agencies, financial institutions, real estate agencies, housing providers, and members of the Allegheny County Continuum of Care. An online survey was created for stakeholders and residents to complete which identified needs, gaps in the system, and programmatic goals for the next five years. Input from the meetings and surveys were used in the development of specific strategies and priorities for the Five Year Plan. The consultations were updated while preparing the FY 2021 Annual Action Plan.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I)).

The Municipality of Penn Hills works with the following agencies to enhance coordination:

- **Municipality of Penn Hills, Department of Planning and Economic Development** - The Planning Department oversees the CDBG Program.
- **Allegheny County Housing Authority** - ACHA coordinates Section 8 Housing Choice Vouchers in the Municipality.
- **Allegheny County Department of Economic Development** - ACED oversees the Allegheny County HOME Consortium.
- **Social Service Agencies** - The Municipality provides funds to improve services to low- and moderate-income persons.
- **Housing Providers** - The Municipality provides funds to rehabilitate and develop affordable housing and provide housing options for low- and moderate-income households.
- **Allegheny County Department of Human Services** - ACDHS oversees the Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care.

Each year, as part of the CDBG application planning process, local agencies, and organization are invited to submit proposals for CDBG funds for eligible activities. These groups participate in the planning process by attending the public hearings, informational meetings, and completing survey forms.



Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness

The Municipality of Penn Hills is a member of the Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care. The Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care is administered by the Allegheny County Department of Human Services. The Municipality coordinates its activities with the Continuum of Care and supports its applications for funding. The Municipality helps the Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care to address homelessness by working together to develop a framework to deliver services for people experiencing or at risk of homelessness including: shelter, housing and supportive services; outreach, engagement and assessment; and prevention strategies.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards and evaluate outcomes, and develop funding, policies and procedures for the administration of HMIS

The CoC uses a Coordinated Entry System to address the needs of homeless persons and those at risk of homelessness. The Coordinated Entry System is designed to minimize barriers faced by individuals who are homeless in accessing the most appropriate and effective housing services to address their needs and incorporates a “housing first” philosophy in matching homeless individuals with services. The CoC uses ServicePoint HMIS software for its coordinated entry. Coordinated entry referrals prioritize all individuals and families who are the most vulnerable according to the VI-SPDAT, as well as those identified as meeting the HUD definition of chronically homeless.

The Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care is comprised the Homeless Advisory Board (HAB) and six (6) committees. The HAB is comprised of 15-21 individuals representing the sectors and/or stakeholder organizations to ensure the HAB can operate effectively as a decision-making body. The new structural organization of the HAB was adopted in October 2015 and the most recent annual approval took place in January 2019.

The HAB is comprised of six (6) committees listed and described below:

Executive Committee: The planning body of the CoC. This committee consists of the three HAB officers, Chair, Vice Chair, and Secretary, Committee Co-Chairs, and an IO representative. The Executive committee’s purpose is to set CoC meeting agendas and drive the strategic direction of



the HAB and Allegheny County CoC, based upon data, best practices/evidence-based practices and established priorities.

Continuum of Care Committee Analysis and Planning Committee: Provides ongoing analysis to support the planning of the CoC at both the provider and systems level. This includes analysis of policies and performance measures in order to recommend strategies to the HAB so the CoC's funding applications remain competitive. Additionally, the committee regularly reviews available data and identifies trends, gaps, and needs presenting from the data.

Communication and Education Committee (formerly Advocacy): Develop and distribute messaging about the needs of homeless persons in Allegheny County. The committee also coordinates advocacy efforts at the county, state, and federal levels.

Homeless Outreach Coordinating Committee (HOCC): Address the complex issues and challenges faced by people experiencing housing crisis living in places not meant for human habitation, which includes being on the streets and under bridges or using the emergency shelter network in Pittsburgh and Allegheny County. The HOCC assists with implantation of the Point-in-Time Study on an annual basis. The committee ensures that street outreach agencies are notified of any targeted homeless encampments before eviction and help develop strategies to education and inform law enforcement official and other stakeholders about the needs of the unsheltered population.

Provider Committee: Captures the experiences and perspectives of providers in order to inform CoC planning and processes. The committee provides an avenue for strengthening communication across the CoC by facilitating systematic information sharing among service providers and between providers and the HAB. The committee supports system and service improvements by utilizing the provider lens to identify gaps/needs and recommend responses.

Ad Hoc Committees: In addition to the above standing committees the HAB Executive Committee may create Ad Hoc Committees to carry out special initiatives that it deems can best be accomplished by a committee of the HAB.



2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdictions consultations with housing, social service agencies and other entities

1	Agency/Group/Organization	Municipality of Penn Hills
	Agency/Group/Organization Type	Housing Services - Housing Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-Victims of Domestic Violence Services-homeless Services-Health Services-Education Services-Employment Service-Fair Housing Services - Victims Other government - Local Planning organization Grantee Department
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Lead-based Paint Strategy Non-Homeless Special Needs Economic Development Market Analysis Anti-poverty Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Municipality of Penn Hills was consulted in all aspects of the Plan.



2	Agency/Group/Organization	Penn Hills Community Development Corporation
	Agency/Group/Organization Type	Housing Services - Housing Services-Employment Other government - Local Civic Leaders Community Development Financial Institution Neighborhood Organization
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Economic Development Market Analysis
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Penn Hills Community Development Corporation was consulted to ascertain the social service, economic development, and housing needs of the Municipality of Penn Hills.
3	Agency/Group/Organization	ACTION Housing
	Agency/Group/Organization Type	Housing Services-Housing Regional Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment Market Analysis Anti-poverty strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	Action Housing was consulted to ascertain the housing and community development needs of the Municipality of Penn Hills.
4	Agency/Group/Organization	BOB Project
	Agency/Group/Organization Type	Housing Services-Housing Services-Persons with Disabilities



	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homeless Needs-Veterans Market Analysis
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The BOB project was consulted to ascertain the housing and community development needs of the Municipality of Penn Hills.
5	Agency/Group/Organization	AIMED Human Services
	Agency/Group/Organization Type	Housing Services-Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	AIMED was consulted to ascertain the housing and special populations needs of the Municipality of Penn Hills.
6	Agency/Group/Organization	Shining Arrow
	Agency/Group/Organization Type	Services - Housing Services-Persons with disabilities
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-homeless special needs
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	Shining Arrow was consulted to ascertain the housing and special populations needs in the Municipality of Penn Hills.
7	Agency/Group/Organization	St. Vincent de Paul
	Agency/Group/Organization Type	Services - Housing Services-Health Services-Elderly Persons Services-Persons with Disabilities



	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special needs Anti-Poverty Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	St. Vincent de Paul was consulted to ascertain the housing and special populations needs in the Municipality of Penn Hills.
8	Agency/Group/Organization	Veteran’s Place
	Agency/Group/Organization Type	Services – Housing Services- homeless
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homelessness Needs- Veterans
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	Veterans was consulted to ascertain the housing and homeless needs in the Municipality of Penn Hills.
9	Agency/Group/Organization	Allegheny County Department of Human Services
	Agency/Group/Organization Type	Services - Housing Services-homeless Other government - County Civic Leaders
	What section of the Plan was addressed by Consultation?	Homelessness Strategy Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Allegheny County Department of Human Services was consulted to ascertain the homeless needs of the Municipality of Penn Hills.



10	Agency/Group/Organization	Ruth's Way
	Agency/Group/Organization Type	Services-Children Other
	What section of the Plan was addressed by Consultation?	Other
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	Ruth's Way was consulted to ascertain the community development of the Municipality of Penn Hills.
11	Agency/Group/Organization	Penn Hills Senior Center
	Agency/Group/Organization Type	Services-Elderly Persons Services-Persons with Disabilities Services-Health Other government - Local
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Market Analysis Anti-poverty Strategy
	How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Penn Hills Senior Center was consulted to ascertain the social service and community development needs of the Municipality of Penn Hills.
12	Agency/Group/Organization	Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care
	Agency/Group/Organization Type	Services-homeless Regional organization Planning organization
	What section of the Plan was addressed by Consultation?	Homelessness Strategy Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Anti-poverty Strategy



How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care was consulted to ascertain the homeless needs for the Municipality of Penn Hills.
Agency/Group/Organization	Penn Hills Service Association
Agency/Group/Organization Type	Services Neighborhood Organization
What section of the Plan was addressed by Consultation?	Economic Development Market Analysis
How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Penn Hills Service Association was consulted to ascertain the social service, community development, and economic development needs of the Municipality of Penn Hills.
Agency/Group/Organization	William McKinley Center
Agency/Group/Organization Type	Services Other government - Local
What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Market Analysis Anti-poverty Strategy
How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The William McKinley Center was consulted to ascertain the social service and community development needs of the Municipality of Penn Hills.
Agency/Group/Organization	Lincoln Park Community Center
Agency/Group/Organization Type	Services Other government - Local
What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Market Analysis Anti-poverty Strategy



How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Lincoln Park Community Center was consulted to ascertain the social service and community development needs of the Municipality of Penn Hills.
Agency/Group/Organization	Multi-Purpose Center
Agency/Group/Organization Type	Services Other government - Local
What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Market Analysis Anti-poverty Strategy
How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	The Multi-Purpose Center was consulted to ascertain the social service and community development needs of the Municipality of Penn Hills.

Table 3– Agencies, groups, organizations who participated

Identify any Agency Types not consulted and provide rationale for not consulting

All agency types were consulted during the planning process. Agencies were invited to round table meetings, asked to complete survey forms, and contacted by telephone for interviews or additional input.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care	The goals are complementary.
5-Year Plan	Allegheny County Housing Authority	The goals are complementary.
Penn Hills 2015 Comprehensive Plan	Municipality of Penn Hills	The goals are complementary.



Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Penn Hills Zoning Ordinance	Municipality of Penn Hills	The goals are complementary.
Analysis of Impediments to Fair Housing Choice	Municipality of Penn Hills	The goals are complementary.
Allegheny County Consolidated Plan	Allegheny County Department of Economic Development	The goals are complementary.
2017 Childhood Lead Surveillance Annual Report	Pennsylvania Department of Health	The goals are complementary.
City of McKeesport Consolidated Plan	City of McKeesport	The goals are complementary.

Table 4– Other local / regional / federal planning efforts

Describe cooperation and coordination with other public entities, including the State and any adjacent units of general local government, in the implementation of the Consolidated Plan (91.215(I))

The Municipality of Penn Hills' Department of Planning and Economic Development is the administrating agency for the CDBG program. Close coordination is maintained with the other municipality departments. CDBG projects are coordinated within the Planning Department, comprising inspection services, and with the Department of Public Works, comprising streets, public facility improvements, and parks and recreation.

Development policies are managed by the Municipal Manager with approval and oversight by the Mayor and Municipal Council. The Municipality works closely with the Allegheny County Commissioners and County staff to address projects and activities that extend beyond the Municipal limits. The Municipality and the County have a good working relationship.

The Municipality is a member of the Allegheny County HOME Consortium and the Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care. As part of the Allegheny County HOME Consortium and the Pittsburgh/McKeesport/Penn Hills/Allegheny County Continuum of Care, the Municipality of Penn Hills ensures the needs of the area are adequately addressed through the regional approach of these partnerships.



In addition, Penn Hills has worked with and received funding from the Commonwealth of Pennsylvania Department of Community and Economic Development for community and economic development projects.

Narrative

The vision of Penn Hills' Five Year Consolidated Plan seeks to develop a viable community by promoting integrated approaches that provide decent housing, a suitable living environment, and expand economic opportunities for low- and moderate-income persons. The primary means towards this end is the development of partnerships among all levels of government and the private sector, including for-profit and non-profit organizations. The Annual Action Plan is an application for FY 2021 CDBG funds under HUD's formula grant program. The Plans combined act as a blueprint to be followed by the Municipality in carrying out federal programs.

Consultations during the planning process included the following stakeholders:

- Housing Services and Assisted Housing
- Health Services
- Social and Fair Housing Services
- Continuum of Care
- Public and Private Agencies that address housing, health, social service, victim services, employment, and education needs
- Publicly Funded Institutions and Systems of Care that may discharge persons into homelessness
- Corrections Institutions
- Business and Civic Leaders
- Child Welfare Agencies concerned with lead poisoning
- Adjacent Units of general Local Government and Regional Government Agencies
- Broadband Internet Service Providers
- Natural Hazard Risk Assessors

Consultation with persons, especially low-income persons, living in areas designated by the local jurisdiction as a revitalization area, areas designated by either a local jurisdiction or as a slum and blighted area and areas where CDBG funds are proposed to be used.

The Municipality prioritizes CDBG projects located in Census Tracts and Block Groups that are supported by LMI Census data countywide. The Municipality has not designated any revitalization or blighted areas. Meetings, communications, and announcements are directed at these areas in



Penn Hills to consult and educate the LMI population of their housing and community development needs. Additionally, consultations with stakeholders that serve the LMA eligible areas were consulted on the prioritization of CDBG funding.

Consultation with residents of public and assisted housing developments (including any resident advisory boards, resident councils, and resident management corporations).

Penn Hills is served by the Allegheny County Housing Authority. There are no Public Housing units located in the Municipality. There are Housing Choice Voucher residents and assisted housing developments located in the Municipality. The Municipality keeps in contact with the Housing Authority and management corporations to notify these stakeholders of meetings and opportunities for consultation. Interactions completed during this planning process were captured earlier in Section AP-12.

DRAFT



AP-12 Citizen Participation - 91.401, 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

The Municipality followed its Citizens Participation Plan to develop the FY 2021 Annual Action Plan. The Municipality held two public hearings during the plan development process.

The FY 2021 Annual Action Plan has many components that require and encourage citizen participation. These components are the following: requests for proposals (RFP's) for CDBG funding from agencies/organizations; meetings with agencies/organizations on how to complete the RFP; interviews and roundtable discussions with various stakeholders; a public needs hearing; and a public hearing to gather comments on the draft plan on public display. All comments are included in the Appendix. Through the citizen participation process, the Municipality uses citizen input to develop how the plan will serve the low- and moderate-income households to reach the goals set forth in the Five Year Consolidated Plan.

DRAFT



Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Public Hearing	Minorities Persons with disabilities Non-targeted/broad community Agencies/Organizations	The Municipality of Penn Hills held its first Public Hearing on March 25, 2021. There were six (6) attendees.	There is a need for neighborhood revitalization, demolitions, and support for community public facilities.	All comments were accepted and incorporated into the Consolidated Plan.	Not Applicable.
2	Public Hearing	Minorities Persons with disabilities Non-targeted/broad community Agencies/Organizations	The Municipality of Penn Hills held its first Public Hearing on May 12, 2021. There were six (6) attendees.	There is a need for neighborhood revitalization, demolitions, and support for community public facilities.	All comments were accepted and incorporated into the Consolidated Plan.	Not Applicable.

Table 5– Citizen Participation Outreach



AP-15 Expected Resources - 91.420(b), 91.220(c)(1,2)

Introduction

The Municipality of Penn Hills will receive an entitlement grant of \$709,540 in FY 2021 CDBG funds and anticipates \$35,000 in program income for the FY 2021 program year. The total FY 2021 CDBG program will allocate \$744,540 in CDBG funds for FY 2021 to eligible activities. The FY 2021 Annual Action Plan period runs from July 1, 2021 through June 31, 2022.

Funds will be used to address the following priority needs: Housing; Other Special Needs; Community Development; Economic Development; and Administration, Planning, and Management.

The accomplishments of these projects/activities will be reported in the FY 2021 Consolidated Annual Performance and Evaluation Reports (CAPERs).

DRAFT



Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	709,540	35,000	0	744,540	2,255,460	The CDBG entitlement program allocates annual grants to larger cities and urban counties to develop viable communities by providing decent housing, a suitable living environment, and opportunities to expand economic opportunities, principally for low- and moderate-income persons. The Municipality is funding seventeen (17) CDBG projects in FY 2021.

Table 6 - Anticipated Resources

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

The Municipality of Penn Hills applied for a DCNR grant utilizing CDBG funds for engineering to provide specifications for the installation of accessible restroom improvements at Universal Park. The final match will be provided by local funds. Penn Hills takes any opportunity to leverage funds and use CDBG funds as match when applying for grants.



The Municipality receives HOME funds through the HOME Consortium in the amount of \$119,192. These HOME funds will be used for the Municipality's Homebuyer Assistance Program.

Allegheny County Housing Authority (ACHA) receives funds for the Section 8 Housing Choice Voucher and Public Housing Capital funds to correct physical and management deficiencies in the public housing developments to achieve efficiency and economy. ACHA has Section 8 Voucher units in Penn Hills.

Homeless assistance providers serving the Municipality also receive funds through the McKinney Continuum of Care Grant in order to provide administrative oversight in the development and provision of housing for the homeless. Additionally, these organizations also provide supportive services through the use of McKinney Vento Act funds. The providers work cooperatively through the Allegheny County Homeless Alliance Continuum of Care (which includes Allegheny County, Penn Hills, McKeesport, and the City of Pittsburgh). The Homeless Alliance's role includes formulation and monitoring of goals and action steps, the identification and analysis of unmet needs, the determination of regional priorities, and the review and ranking of all regional projects submitted for McKinney Vento Act funds under the CoC. The CoC received \$15,524,467 from its FY 2020 SuperNOFA Application.

If appropriate, describe publicly owned land or property located within the state that may be used to address the needs identified in the plan

The Municipality has not designated any publicly owned land or property within the jurisdiction that will be used for future development to address the needs identified in the Plan.



Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed
1	HS-3 Housing Rehabilitation	2020	2024	Affordable Housing	Community-Wide	Housing Priority
2	CD-1 Community Facilities	2020	2024	Non-Housing Community Development	Community-Wide	Community Development Priority
3	CD-2 Public Services	2020	2024	Non-Housing Community Development	Community-Wide	Community Development Priority
4	CD-4 Accessibility	2020	2024	Non-Housing Community Development	Community-Wide	Community Development Priority
5	CD-5 Clearance/Demolition	2020	2024	Non-Housing Community Development	Community-Wide	Community Development Priority
6	ED-1 Employment	2020	2024	Non-Housing Community Development	Community-Wide	Economic Development Priority



Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed
7	SN-1 Housing	2020	2024	Affordable Housing	Community-Wide	Other Special Needs Priority
8	AM-1 Overall Coordination	2020	2024	Administration, Planning, and Management	Community-Wide	Administration, Planning, and Management Priority
9	HS-1 Housing Support	2020	2024	Affordable Housing	Community-Wide	Housing Priority

Table 7 – Goals Summary

Goal Descriptions

1	Goal Name	HS-3 Housing Rehabilitation
	Goal Description	Conserve and rehabilitate existing affordable housing units occupied by owners and renters by addressing code violations, emergency repairs and handicap accessibility.
2	Goal Name	CD-1 Community Facilities and Infrastructure
	Goal Description	Improve the municipality’s public facilities and infrastructure through rehabilitation, reconstruction, and new construction.



3	Goal Name	CD-2 Public Services
	Goal Description	Improve and enhance the public and community development services in the municipality.
4	Goal Name	CD-4 Accessibility
	Goal Description	Improve public and common use areas to be readily accessible and usable by persons with disabilities.
5	Goal Name	CD-5 Clearance/Demolition
	Goal Description	Remove and eliminate slum and blighting conditions in the municipality.
6	Goal Name	ED-1 Employment
	Goal Description	Support and promote job creation, retention, and skills training programs.
7	Goal Name	SN-1 Housing
	Goal Description	Support an increase in the supply of decent, safe and sanitary housing that is affordable and accessible for the elderly, persons with disabilities, persons with HIV/AIDS, victims of domestic violence, persons with alcohol/drug dependency, and persons with other special needs, through rehabilitation and new construction of housing units.
8	Goal Name	AM-1 Overall Coordination
	Goal Description	Provide program management and oversight for the successful administration of federal, state, and local funded programs, including planning services for special studies, environmental clearance, fair housing activities, and compliance with all federal, state, and local laws and regulations.
9	Goal Name	HS-1 Housing Support



Goal Description	Assist low- and moderate-income households to access decent, safe and sanitary housing that is affordable and accessible for rent or for sale through housing counseling and down payment/closing cost assistance.
-------------------------	--

DRAFT



AP-35 Projects - 91.420, 91.220(d)

Introduction

The Municipality of Penn Hills proposes to undertake the following activities with FY 2021 CDBG funds:

#	Project Name
1	LPCC Food Pantry
2	Jefferson Manor Food Pantry
3	Penn Hills Services Association
4	WPHCA
5	Neighborworks of Western PA
6	Single Family Rehab
7	Senior Aid Rehab
8	SSC Handrail Program
9	Town Wide Demolition
10	Street Improvements in Low MOD CTs/BGs
11	Storm Sewer Improvements
12	Senior Service Center Improvements
13	WM McKinley Upgrades
14	Multi-Purpose Center Improvements
15	LPCC Improvements
16	Accessible Building Improvements
17	General Program Administration

Table 8 – Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The Municipality of Penn Hills will allocate its CDBG funds to those geographic areas whose population is over 51% low- and moderate-income. At least 70% of all the Municipality's CDBG funds that are budgeted for activities will principally benefit low- and moderate-income persons. The following guidelines for allocating CDBG and HOME funds will be used during the FY 2020-2024 Five Year Consolidated Plan:

- The public services activities are for social service organizations whose clientele have a low income or in certain cases, a limited type of clientele with a presumed low- and moderate-income status.
- The public facilities activities are either located in a low- and moderate-income census tract/block group or have a low- and moderate-income service area benefit or clientele over 51% low- and



moderate-income.

- The acquisitions and demolition of structures are either located in a low- and moderate-income census area or these activities are eligible by preventing or eliminating slums and blight on a spot basis or area basis.

The allocations and priorities were established by an online resident survey, stakeholder meetings, follow-up surveys from service providers and public meetings. Obstacles to addressing underserved needs would be finding more federal resources to accomplish those activities and having local resources to pair with them to make successful projects.

DRAFT



AP-38 Project Summary

Project Summary Information

1	Project Name	LPCC Food Pantry
	Target Area	Community-Wide
	Goals Supported	CD-2 Public Services
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$20,000
	Description	CDBG funds will be used to support the Lincoln Park Community Center Food Pantry to provide low- and moderate-income households of the Lincoln Park area with food and services. Eligible uses include costs associated with the operation of the food banks, such as staff costs, supplies, utilities, maintenance, and insurance.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 1,000 individuals will benefit from this activity.
	Location Description	This activity will take place at 7300 Ridgeview Ave, Penn Hills, PA 15235-11256.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 05W, Food Banks. 570.201(e).
2	Project Name	Jefferson Manor Food Pantry
	Target Area	Community-Wide
	Goals Supported	CD-2 Public Services



	Needs Addressed	Community Development Priority
	Funding	CDBG: \$10,000
	Description	CDBG funds will be used to provide food and other essential items to the low-income senior residents of Jefferson Manor, an Allegheny County Housing Authority Senior Housing Development. Eligible uses include costs associated with the operation of the food banks, such as staff costs, supplies, utilities, maintenance, and insurance.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 70 individuals will benefit from this activity.
	Location Description	This activity will take place at 201 Jefferson Road, Penn Hills, PA 15235-3759.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 05W, Food Banks. 570.201(e).
3	Project Name	Penn Hills Services Association
	Target Area	Community-Wide
	Goals Supported	CD-2 Public Services
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$14,540
	Description	CDBG funds will be awarded to the Penn Hills Service Association to provide food, clothing, and medical supplies to low-income residents and families.
	Target Date	6/30/2022



	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 3,000 LMI individuals will benefit from this activity.
	Location Description	This activity will take place at 2519 Main Street, Penn Hills, PA 15235-3644.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 05W, Food Banks. 570.201(e).
4	Project Name	WPCA
	Target Area	Community-Wide
	Goals Supported	ED-1 Employment
	Needs Addressed	Economic Development Priority
	Funding	CDBG: \$20,000
	Description	CDBG funds will be used to hire LMI youth for neighborhood community development activities. Job readiness training workshops will be included.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 35 LMI youth will benefit from this activity.
	Location Description	This activity will take place 7450 Chadwick Street, Penn Hills, PA 15235-1225.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 05H, Employment Training 24 CFR 570.201(e).



5	Project Name	NeighborWorks of Western PA
	Target Area	Community-Wide
	Goals Supported	HS-1 Housing Support
	Needs Addressed	Housing Priority
	Funding	CDBG: \$30,000
	Description	CDBG funds will be awarded to the Penn Hills Service Association to provide food, clothing, and medical supplies to low-income residents and families.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 100 LMI households will benefit from this activity.
	Location Description	This activity will take place at 2519 Main Street, Penn Hills, PA 15235-3644.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 05U, Housing Counseling. 570.201(e).
6	Project Name	Single Family Rehab
	Target Area	Community-Wide
	Goals Supported	HS-3 Housing Rehabilitation
	Needs Addressed	Housing Priority
	Funding	CDBG: \$40,000



	Description	CDBG funds will be used to offer rehabilitation loans for up to \$15,000 at 0% and 6% loans to qualifying low- and moderate income- homeowners for the rehabilitation of their single-family home.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 5 LMI households will benefit from this activity.
	Location Description	This activity will take place in the homes of qualified low and moderate income households throughout the Municipality of Penn Hills.
	Planned Activities	The National Objective is Low/Mod Housing. The HUD Matrix Code is 14A, Rehab; Single-Unit Residential. 570.202.
7	Project Name	Senior Aid Rehab
	Target Area	Community-Wide
	Goals Supported	SN-1 Housing
	Needs Addressed	Special Needs Priority
	Funding	CDBG: \$10,000
	Description	CDBG funds will be used to provide \$1,000 grants to low-income senior citizens to assist them with improvements to their homes, making them safer and accessible. Funds from this activity are used to provide handrails, grab bars, electrical service upgrades, and other construction services.
	Target Date	6/30/2022



	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 10 senior LMI households will benefit from this activity.
	Location Description	This activity will take place in qualifying low and moderate income households throughout the Municipality of Penn Hills.
	Planned Activities	The National Objective is Low/Mod Housing. The HUD Matrix Code is 14A, Rehab; Single-Unit Residential.
8	Project Name	SSC Handrail Program
	Target Area	Community-Wide
	Goals Supported	SN-1 Housing
	Needs Addressed	Special Needs Priority
	Funding	CDBG: \$10,000
	Description	CDBG funds will be used to install handrails and grab bars in the homes of low-income senior citizens to improve safety and allow them to remain in their homes longer.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 25 senior LMI households will benefit from this activity.
	Location Description	This activity will take place in qualifying low and moderate income households throughout the Municipality of Penn Hills.



	Planned Activities	The National Objective is Low/Mod Housing. The HUD Matrix Code is 14A, Rehab; Single-Unit Residential. 570.202.
9	Project Name	Town Wide Demolition
	Target Area	Community-Wide
	Goals Supported	CD-5 Clearance/Demolition
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$100,000
	Description	CDBG funds will be used to demolish unsafe structures that are not suitable for rehabilitation or renovation.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 8 buildings will be razed.
	Location Description	This activity will take place throughout the Municipality of Penn Hills.
	Planned Activities	The National Objective is Slum and Blight on a Spot Basis. The HUD Matrix Code is 04, Clearance and Demolition. 570.201(d).
10	Project Name	Street Improvements in Low Mod CTs/BGs
	Target Area	Community-Wide
	Goals Supported	CD-1 Community Facilities and Infrastructure
	Needs Addressed	Community Development Priority



	Funding	CDBG: \$200,000
	Description	CDBG funds will be used to install sidewalks in low-income areas and provide accessible improvements.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 4,000 individuals will benefit from this activity.
	Location Description	This project will take place in low and moderate income areas of the Municipality of Penn Hills.
	Planned Activities	The National Objective is Low/Mod Area. The HUD Matrix Code is 03K, Street Improvements. 570.201(c).
11	Project Name	Storm Sewer Improvements
	Target Area	Community-Wide
	Goals Supported	CD-1 Community Facilities and Infrastructure
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$60,000
	Description	CDBG funds will be used to reconstruct sewers in low and moderate income areas of the Municipality of Penn Hills.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 4,000 individuals will benefit from this activity.



	Location Description	This project will take place in low and moderate income areas of the Municipality of Penn Hills.
	Planned Activities	The National Objective is Low/Mod Area. The HUD Matrix Code is 03J, Water/Sewer Improvements. 570.201(c).
12	Project Name	Senior Service Center Improvements
	Target Area	Community-Wide
	Goals Supported	CD-1 Public Facilities and Infrastructure
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$20,000
	Description	CDBG funds will be used to provide improvements to the Senior Service Center. Improvements this year include an upgrade of the existing fire alarm system and installation of a new generator.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 1,000 LMI persons served by one public facility will benefit from this activity.
	Location Description	This activity will take place at 147 Jefferson Road, Penn Hills, PA 15235-3717.
	Planned Activities	The National Objective is Low/Mod Clientele. The HUD Matrix Code is 03A, Senior Centers. 570.201(c).
13	Project Name	WM McKinley Upgrades
	Target Area	Community-Wide
	Goals Supported	CD-1 Public Facilities and Infrastructure



	Needs Addressed	Community Development Priority
	Funding	CDBG: \$20,000
	Description	The William McKinley Center provides residents of the Verona Hill Top area with a variety of services. CDBG funds will be used to make improvements including accessibility improvements to the interior of the building in order to meet the Uniform Federal Accessibility Standards.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 1,000 LMI persons served by one public facility will benefit from this activity.
	Location Description	This activity will take place at 801 7th Street, Verona, PA 15147-2158.
	Planned Activities	The National Objective is Low/Mod Clientele. 570.208(a)(2)(ii)(A) The HUD Matrix Code is 03Z, Other Public Improvements Not Listed in 03A-03S. 570.201(c).
14	Project Name	Multi-Purpose Center improvements
	Target Area	Community-Wide
	Goals Supported	CD-1 Public Facilities and Infrastructure
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$20,000
	Description	CDBG funds will be used for Uniform Federal Accessibility Standards improvements to the interior and exterior of the building.
	Target Date	6/30/2022



	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 3,763 persons with an ambulatory difficulty (2016 ACS 5 Year Estimate) served by one public facility will benefit from this activity.
	Location Description	This activity will take place at 2025 Lincoln Road, Verona, PA 15147-1554.
	Planned Activities	The National Objective is Low/Mod Clientele. 570.208(a)(2)(ii)(A) The HUD Matrix Code is 03Z, Other Public Improvements Not Listed in 03A-03S. 570.201(c).
14	Project Name	LPCC Improvements
	Target Area	Community-Wide
	Goals Supported	CD-1 Public Facilities and Infrastructure
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$20,000
	Description	CDBG funds will be used for Uniform Federal Accessibility Standards improvements to the interior and exterior of the building.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 3,763 persons with an ambulatory difficulty (2016 ACS 5 Year Estimate) served by one public facility will benefit from this activity.
	Location Description	This activity will take place at 7300 Ridgeview Avenue, Penn Hills, PA 15235-1256.
	Planned Activities	The National Objective is Low/Mod Clientele. 570.208(a)(2)(ii)(A) The HUD Matrix Code is 03Z, Other Public Improvements Not Listed in 03A-03S. 570.201(c).



16	Project Name	Accessible Building Improvements
	Target Area	Community-Wide
	Goals Supported	CD-4 Accessibility
	Needs Addressed	Community Development Priority
	Funding	CDBG: \$50,000
	Description	CDBG funds will be used to make accessibility improvements to the following Municipally owned buildings: the Penn Hills Municipal Building, the McKinley Community Center, the Senior Citizens Center, the Penn Hills Multi-Purpose Center, and the Lincoln Park Community Center.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 3,763 persons with an ambulatory difficulty (2016 ACS 5 Year Estimate) served by one public facility will benefit from this activity.
	Location Description	This activity will take place at 6600 Leechburg Road, Verona, PA 15147-3606.
	Planned Activities	The National Objective is Low/Mod Clientele. 570.208(a)(2)(ii)(A) The HUD Matrix Code is 03Z, Other Public Improvements Not Listed in 03A-03S. 570.201(c).
17	Project Name	General Program Administration
	Target Area	Community-Wide
	Goals Supported	AM-1 Overall Coordination
	Needs Addressed	Administration, Planning, and Management Priority
	Funding	CDBG: \$100,000



Description	Funds from this activity will be used to pay for the administration of the CDBG program including office supplies, education, vehicle expenses, and salaries.
Target Date	6/30/2022
Estimate the number and type of families that will benefit from the proposed activities	It is estimated that 1 organization will benefit from this activity.
Location Description	This activity will take place at 102 Duff Road, Penn Hills, PA 15325.
Planned Activities	The HUD Matrix Code is 21A, General Program Administration. 570.206.

DRAFT



AP-50 Geographic Distribution - 91.420, 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The following information provides a profile of the population, age, and racial/ethnic composition of the Municipality of Penn Hills. This information was obtained from the U.S. Census Bureau American Factfinder website, <http://factfinder.census.gov>. The 2011-2015 American Community Survey 5 Year Estimates were used to analyze the social, economic, housing, and general demographic characteristics of the Municipality of Penn Hills.

Population:

Key points are:

- Between 1980 and 2010, the population decreased by approximately 26.6%
- The Municipality's population was 42,239 in 2015.

Age:

Key points are:

- Median age in Penn Hills is 45.4 years old
- Youth under age 18 account for 18.6% of the population
- Seniors age 62 or over are 24.1% of the population

Race/Ethnicity:

Composition from 2011-2015 American Community Survey Data:

- 36.9% are Black or African American
- 58.1% are White
- 0.6% are Asian
- 0.7% Some Other Race
- 3.6% are Two or More Races
- 2.1% are Hispanic or Latino



Income Profile:

The Median Income for a family of four (4) in the Pittsburgh, Pennsylvania HMFA is \$79,900 for FY 2019. The following is a summary of income statistics for the Municipality of Penn Hills:

- At the time of the 2011-2015 American Community Survey, median household income in the Municipality of Penn Hills was \$48,481 which was lower than Allegheny County (\$53,040) and the Commonwealth of Pennsylvania (\$53,599).
- 38.7% of households have earnings received from Social Security income.
- 2.3% of households have earnings received from public assistance.
- 22.2% of households have earnings, received retirement income.
- 22.9% of female headed households were living in poverty.
- 21.9% of all youth under 18 years of age were living in poverty.

Low/Mod Income Profile:

The low- and moderate-income profile for Penn Hills is a measurement of the area's needs. Penn Hills has an overall low- and moderate-income percentage of 45.64%.

Economic Profile:

The following illustrates the economic profile for the Municipality of Penn Hills as of the 2011-2015 American Community Survey:

- 34.8% of the employed civilian population had occupations classified as management, business, science, and arts.
- 28.5% of the employed civilian population had occupations classified as sales and office.
- 18.3% were in the service sector.
- The education, health, and social service industry represented 8.1% of those employed.
- 11.4% of workers were considered in the government class.

According to the U.S. Bureau of Labor Statistics, the preliminary unemployment rate for Penn Hills in December 2019 was 5.5% compared to a rate of 4.2% in Allegheny County, a rate of 4.6% for the



Commonwealth of Pennsylvania, and a national unemployment rate of 3.5% in December 2019.

Geographic Distribution

Target Area	Percentage of Funds
Community-Wide	100%

Table 9 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

The Municipality does not use geographic regions as a basis for allocating CDBG funds. Funds are allocated in a manner that benefits low- and moderate-income residents. However, a significant portion of the CDBG allocation is directed to the Lincoln Park neighborhood because of the age of the housing, abandonment problems, and the presence of two community centers that continue to support that area of the Municipality.

The Municipality of Penn Hills will allocate its CDBG funds to those geographic areas whose population is over 51% low- and moderate-income. At least 70% of all the Municipality's CDBG funds that are budgeted for activities will principally benefit low- and moderate-income persons. The following guidelines for allocating CDBG and HOME funds will be used during the FY 2020-2024 Five Year Consolidated Plan:

- The public services activities are for social service organizations whose clientele have a low income or in certain cases, a limited type of clientele with a presumed low- and moderate-income status.
- The public facilities activities are either located in a low- and moderate-income census tract/block group or have a low- and moderate-income service area benefit or clientele over 51% low- and moderate-income.
- The acquisitions and demolition of structures are either located in a low- and moderate-income census area or these activities are eligible by preventing or eliminating slums and blight on a spot basis or area basis.

Discussion

The geographic locations and the public benefit for the FY 2021 CDBG Activities/Projects are as follows:

- LPCC Food Pantry (LMC)
- Jefferson Manor Food Pantry (LMC)
- Penn Hills Services Association (LMC)
- WPCHA (LMC)



- NeighborWorks of Western PA (LMC)
- Single Family Rehab (LMH)
- Senior Aid Rehab (LMH)
- SSC Handrail Program (LMH)
- Town Wide Demolition (LMA)
- Street Improvements in Low Mod CTs/BGs (LMA)
- Storm Sewer Improvements (LMA)
- Senior Service Center Improvements (LMC)
- WM McKinley Upgrades (LMC)
- Multi-Purpose Center Improvements (LMC)
- LPCC Improvements (LMC)
- Accessible Building Improvements (LMC)
- General Program Administration

DRAFT



AP-85 Other Actions - 91.420, 91.220(k)

Introduction

The Municipality of Penn Hills has developed the following actions which addresses obstacles to meeting underserved needs, fosters affordable housing, reduces lead-based hazards, reduces the number of poverty families, develops institutional structures, and enhances coordination between public and private housing and social service agencies.

Actions planned to address obstacles to meeting underserved needs

The primary action taken in addressing obstacles to meeting underserved needs is identifying additional financial resources and leveraging funds with available state and local fund resources. An additional strategy for meeting unmet needs is to coordinate with other local service providing organizations so to minimize duplication of service and maximize collaborative efforts to meet identified needs. These are the primary strategies utilized in meeting unmet needs.

During this Program Year, the Municipality is going to fund the following activities:

- CD-21-01 LPCC Food Pantry
- CD-21-02 Jefferson Manor Food Pantry
- CD-21-03 Penn Hills Service Association
- CD-21-04 WPCA
- CD-21-05 NeighborWorks of Western PA
- CD-21-09 Town Wide Demolition
- CD-21-10 Street Improvements in Low Mod CTs/BGs
- CD-21-11 Storm Sewer Improvements
- CD-21-12 Accessible Building Improvements
- CD-21-13 Senior Service Center Improvements
- CD-21-14 WM McKinley Upgrades
- CD-21-15 Multi-Purpose Center Improvements
- CD-21-16 LPCC improvements

Actions planned to foster and maintain affordable housing

With limited CDBG funding available, the Municipality intends to continue to increase its supply of affordable housing by rehabilitating homes for eligible homeowners through its homeowner rehabilitation program and through various subrecipients. Given the resources available, this will reduce, although not eliminate, barriers to affordable housing. Support for code enforcement and policing



services also helps preserve housing units, keeping them in the market and reducing prices.

The Municipality of Penn Hills is proposing the following goals and strategies to foster and maintain affordable housing during FY 2021:

- **HS-1 Housing Support** – Assist low- and moderate-income households to access decent, safe and sanitary housing that is affordable and accessible for rent or for sale through housing counseling and down payment/closing cost assistance.
- **HS-3 Housing Rehabilitation** – Conserve and rehabilitate existing affordable housing units occupied by owners and renters by addressing code violations, emergency repairs and handicap accessibility.
- **SN-1 Housing** – Support an increase in the supply of decent, safe and sanitary housing that is affordable and accessible for the elderly, persons with disabilities, persons with HIV/AIDS, victims of domestic violence, persons with alcohol/drug dependency, and persons with other special needs, through rehabilitation and new construction of housing units.

The Municipality of Penn Hills will fund the following affordable housing projects with 2021 CDBG funds and CDBG Program Income:

- **CD-21-06 Single Family Rehabilitation Program:** This activity provides funding for rehabilitation loans for up to \$15,000 at 0% to low and moderate income home owners for the rehabilitation of their single-family home.
- **CD-21-07 Senior Aid Rehabilitation:** This activity provides \$1,000 grants to low income senior citizens to assist them with improvements to their homes, making them safer and accessible. Funds from this activity are used to provide handrails, grab bars, electrical service upgrades, and other construction services.
- **CD-21-08 Senior Handrail Program:** Funds from this activity will be used to install handrails and grab bars in the homes of low income senior citizens to improve safety and allow them to remain in their homes longer.

Actions planned to reduce lead-based paint hazards

Penn Hills evaluates homes for lead based paint and reduces the amount of lead based paint hazards through its Single-Family Rehab program. Regulations are such that all contractors are required to be certified in lead based paint abatement procedures. The Penn Hills Housing Coordinator is trained and certified in the elimination of lead based paint hazards. Although the Municipality does not require a lead based paint inspection with all building permits issued, all rehab loan recipients receiving funding of over \$2,500.00 for interior renovations are required to have their home inspected for lead based paint hazards and then have the paint hazard abated as a condition of receiving a loan. The Municipality pays for testing



in the home; however, the loan recipient is required to pay for the abatement as a part of the rehabilitation project.

Actions planned to reduce the number of poverty-level families

Virtually all of the Municipality's housing activities, programs, and projects are intended to benefit low-to-moderate income persons, and moreover, to reduce the number of poverty-level families. One of the Municipality's primary anti-poverty components of the CDBG program is to provide safe and sanitary housing for the low and moderate income individuals residing in the Municipality. Because three-quarters of Municipal residents own their home, a high percentage in comparison with State and National figures, maintaining low-to-moderate-income residents in their own home is a primary component of the Municipality's antipoverty program. The Municipality addresses this through its ongoing single-family housing rehabilitation program.

Providing safe and affordable housing opportunity for the low-to-moderate income population is a major deterrent to poverty.

Actions planned to develop institutional structure

Coordination and collaboration between agencies is important and essential to ensuring that the needs within the Municipality are addressed. The key agencies that are involved in the implementation of the Plan and additional resources that may be available to address identified needs are described below.

PUBLIC SECTOR:

Municipality of Penn Hills – The Department of Planning and Economic Development is responsible for the administration of the CDBG program and other programs that assist LMI residents, as well as the management and implementation of the CDBG program, including the Five Year Consolidated Plan and Annual Action Plans. Additionally, the following Department serve an integral role in meeting the Five Year Plan Priorities and goals: Code Enforcement, Controller, Finance, Fire Marshal, Parks and Recreation, Public Works, Purchasing Department, Senior Services Center, and Water Pollution Control.

Allegheny County Housing Authority (ACHA) – ACHA is one of the primary owners and providers of affordable housing in the Municipality. ACHA administers the Section 8 Housing Choice Voucher Program. ACHA also provides affordable housing to low-income families, elderly residents, and persons with disabilities in its various public housing communities.

Other Housing and Development Agencies – The Municipality will continue to partner with the following government-related agencies in meeting the Consolidated Plan: Penn Hills Community Development



Corporation, Western Penn Hills Community Action, and various nonprofit housing providers.

NON-PROFIT AND COMMUNITY AGENCIES:

There are several non-profit and community agencies that serve LMI residents in the Municipality. These agencies provide housing, food banks and feeding programs, recreational programs, disability services, senior programs, health and mental health services, workforce development, and other related services to LMI. The Municipality will collaborate with these providers on various projects, programs, and services.

PRIVATE SECTOR:

The private sector is also an important collaborator and partner in the services and programs associated with the Municipality's Consolidated Plan. The private sector brings additional resources and expertise that can be used to supplement existing services or fill gaps in the system. Lending institutions, affordable housing developers, business and economic development organizations, and private service providers offer a variety of assistance to residents such as health care, small business assistance, home loan programs, and assisted housing. The Municipality of Penn Hills works with the following: Federal Home Loan Bank of Pittsburgh, Local Banks, Local Board of Realtors, and Private Foundations.

COORDINATION:

The Municipality is committed to continuing its participation and coordination with federal, state, county, and local agencies, as well as the private and non-profit sectors, in order to effectively serve the needs of LMI individuals and families living in the Municipality of Penn Hills. Penn Hills will continue to work with organizations such as the County Department of Human Services, Allegheny County Housing Authority, Penn Hills Community Development Corporation, World Changers, and Habitat for Humanity to address housing, community development, and homeless needs in the Municipality.

Actions planned to enhance coordination between public and private housing and social service agencies

The primary responsibility for the administration of the Annual Action Plan is assigned to the Department of Planning and Economic Development in the Municipality of Penn Hills. This Department will coordinate activities among the public and private organizations, in their efforts to implement different elements and to realize the prioritized goals of the Annual Action Plan. The Municipality is committed to continuing its participation and coordination with public, housing, and social service organizations. The Municipality solicits applications for CDBG funds and sends out applications to a list of agencies, organizations, and housing providers that have submitted application in the past and to those who have expressed an



interest in submitting an application. The application is reviewed by the Department of Planning and Economic Development staff and they discuss any questions with the applicant.

Discussion

The Municipality of Penn Hills completed an Analysis of Impediments to Fair Housing Choice (AI) for 2020. This AI identified the following impediments in the Municipality of Penn Hills:

Impediment 1: Fair Housing Education and Outreach

There is a need to improve the knowledge and understanding concerning the rights of individuals, families, and members of the protected classes in regard to the Fair Housing Act (FHA) and awareness of discriminatory practices.

Goal: Improve the knowledge and awareness of both the public and the local officials of the Fair Housing Act, related laws, regulations, and requirements to affirmatively further fair housing in the community.

Strategies: In order to meet this goal, the following activities and strategies should be undertaken:

- **1-A:** Continue to educate and make residents aware of their rights under the Fair Housing Act (FHA) and the Americans with Disabilities Act (ADA).
- **1-B:** Continue to educate and make realtors, bankers, and housing providers aware of their responsibilities under the Fair Housing Act (FHA) and the Americans with Disabilities Act (ADA).
- **1-C:** Continue to support Fair Housing organizations and legal advocacy groups to assist persons who may be victims of housing discrimination and/or not aware of how to file a housing complaint.
- **1-D:** Continue to identify Limited English Proficiency (LEP) persons to provide the specific language assistance that is needed.
- **1-E:** Continue to partner with regional jurisdictions and housing providers to encourage fair housing choice throughout the municipality.

Impediment 2: Continuing Need for Affordable Housing

One out of every two renter household in the municipality is paying over 30% of their monthly incomes on housing costs. Almost one out of every three owner household with a mortgage is paying over 30% of their monthly income on housing costs.



Goal: Increase the supply of affordable housing by new construction and rehabilitation of various types of housing that is affordable to lower income households.

Strategies: In order to meet this goal, the following activities and strategies should be undertaken:

- **2-A:** Continue to support and encourage private developers and non-profit housing providers to create, through construction or rehabilitation, affordable and mixed-income housing located outside of areas of lower income and minority concentrations.
- **2-B:** Continue to support and encourage the rehabilitation of existing housing units in the municipality to become decent, safe, sound and affordable housing for households below 80% AMI.
- **2-C:** Continue to support homebuyer education and training programs to improve homebuyer awareness.
- **2-D:** Provide federal, state and local funding in response to HMDA data discrimination patterns to support a higher loan to value ratio for minority homebuyers.
- **2-E:** Create an Affordable Housing Resources database located on the Municipality of Penn Hills' website.

Impediment 3: Continuing Need for Accessible Housing

There is a lack of accessible housing units in the Municipality of Penn Hills as the supply of accessible housing has not kept pace with the demand of individuals desiring to live independently.

Goal: Increase the supply of accessible housing by new construction and rehabilitation of accessible housing for persons with disabilities.

Strategies: In order to meet this goal, the following activities and strategies should be undertaken:

- **3-A:** Continue to promote the need for accessible housing by supporting and encouraging private developers and non-profits to develop, construct, and/or rehabilitate housing that is accessible to persons with disabilities.
- **3-B:** Continue to provide financial assistance for accessibility improvements to owner-occupied housing units to enable the elderly and/or persons with disabilities to remain in their existing homes.
- **3-C:** Continue to enforce the ADA and Fair Housing requirements for landlords to make “reasonable accommodations” to their rental properties so they become accessible to tenants with disabilities.



- **3-D:** Create an Accessible Housing Resources database located on the Municipality of Penn Hills' website.

Impediment 4: Public Policy

The Municipal Zoning Ordinance needs additional definitions and provisions concerning Fair Housing.

Goal: Revise the Zoning Ordinance to promote the development of various types of affordable housing throughout the Municipality.

Strategies: In order to meet this goal, the following activities and strategies should be undertaken:

- **4-A:** Revise the Zoning Ordinance to include additional definitions, statements, and revisions.
- **4-B:** Adopt a written Reasonable Accommodation Policy for housing developers and the Planning/Zoning Commission to follow when reasonable accommodation requests are made concerning zoning and land use as it applies to protected classes under the Fair Housing Act.
- **4-C:** Develop financial incentives to encourage developers and housing providers to offer more affordable housing options in the municipality.
- **4-D:** Encourage LMI, minority, and protected class resident participation in the various municipal Boards and Commissions.

Impediment 5: Regional Approach to Fair Housing

There is a need for a regional collaborative approach to affirmatively further fair housing in the area.

Goal: Form a regional cooperative fair housing consortium to affirmatively further fair housing in the area.

Strategies: In order to meet this goal, the following actions should be undertaken:

- **5-A:** Form a regional fair housing consortium to encourage fair housing choice throughout the area.
- **5-B:** Through the regional fair housing consortium create regional fair housing activities and projects.



- **5-C:** Work collaboratively with affordable housing developers/providers to ensure affirmative fair marketing plans and deconcentration policies are created and implemented.
- **5-D:** Partner with regional grantees to create a jointly maintained Affordable and Accessible Housing Resources database located on each partners' website.

DRAFT



AP-90 Program Specific Requirements - 91.420, 91.220(I)(1,2,4)

Introduction

The Municipality of Penn Hills receives an annual allocation of CDBG funds. Since the Municipality receives this Federal allocation, the questions below have been completed as they are applicable.

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	\$35,000
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	84.49%



Discussion

The Municipality will utilize its FY 2021 CDBG funds and CDBG Program Income for affordable housing. The one year goals for affordable housing in the Municipality of Penn Hills for FY 2021 are as follows:

One Year Goals for the Number of Households to be Supported

- Homeless - 0
- Non-Homeless - 10
- Special-Needs - 35
- Total = 45

One Year Goals for the Number of Households Supported Through

- Rental Assistance - 0
- The Production of New Units - 0
- Rehab of Existing Units - 45
- Acquisition of Existing Units - 0
- Total = 45

During the FY 2021 CDBG Program Year, the Municipality of Penn Hills does not have any projects that are dedicated to homeless and special needs households. Due to the limited resources, the Municipality is not funding rental assistance, production of new units, and acquisition of existing units activities/projects.

The Municipality of Penn Hills will receive an entitlement grant of \$709,540 in FY 2021 CDBG funds and anticipates \$35,000 in program income for the FY 2021 program year. The total FY 2021 CDBG program will allocate \$744,540 in CDBG funds for FY 2021 to eligible activities. The Municipality will allocate \$100,000 for Administration and fair housing activities under General Administration (13.43%). The remaining \$644,540 will be allocated as follows: \$90,000 to Housing (13.96%); \$64,540 to Public Services (10.01%); \$390,000 to Capital Improvements (60.61%); and \$100,000 to Demolition (15.51%).

The Municipality of Penn Hills is also a member of the Allegheny County HOME Consortium. As a member of the Consortium, the Municipality will receive \$ 119,192 in HOME funds for FY 2021. The Municipality will use the HOME funds for its Homebuyer Assistance Program.